

ART504 Part B: Case Studies and Regional Work

Detailed Proposal for Whitchurch Hospital, Cardiff



(Coflein 2007)

C1885646

Elen Hughes

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Introduction

The purpose of this report is to develop an understanding along with a proposal for the sustainable conservation and potential adaptive reuse of the Grade II listed building (Cadw 2002 A p.1), Whitchurch Hospital, Cardiff.

As stated by Cadw¹ (2018 p.5), listed buildings are those buildings and structures that have been identified as nationally important by the Welsh Ministers under the Planning (Listed Buildings and Conservation Areas) Act 1990. Grade II designated listed buildings are those considered as '*Buildings of special interest which justify every effort being made to preserve them*' (ibid). Strange and Whitney (2003 p.224) discuss that it is the role of the planning system to regulate development, ensuring a balance is reached between economic growth and the protection of the historic and natural environment. Focusing on the development of listed buildings, this is achieved through the listed building consent process, where established by law, any works, demolition or alterations to the interior or exterior of a listed building requires a listed building consent by the Local Planning Authority to ensure that its 'special interest' is retained (Cadw 2017 p.14).

Hobson (2004 p.60), exploring the relationship between conservation and the planning system, states that the original intention of listing was to formulate strategic plans to ensure that the '*...building's artistry...*' is central during any development proposal. That is, the statutory requirements of the planning system is a means of conserving those buildings and structures through identifying the long-term or overall aims and objectives of development in order to safeguard the understood special interest. Clark (1998), Kerr (2013) and the HLF² (no date p.2) guidance all advocate the 'Conservation Plan' as a form of successfully identifying and understanding the long-term and overall objectives of development of historic places. A comprehensive document, the primary objective of a conservation plan, as stated by Clark (1998 p.19) and Kerr (2013 p.22) is to specify the significance³ of a place along with establishing policies to conserve the significance and assist with the development process. Attesting the influence of the planning system on conservation, Clark⁴ (2001 p.64) informs that the policies should stem and correspond with the wider statutory planning and regulatory framework, however should be

¹ Wales' Historic Environment Service that provides advice and guidance those such as local planning authorities, developers, owners and occupiers on managing change to historic assets and promoting good conservation practice as part of its operative function of conserving and enhancing the historic environment of Wales (Cadw 2019 p.4)

² Heritage Lottery Fund.

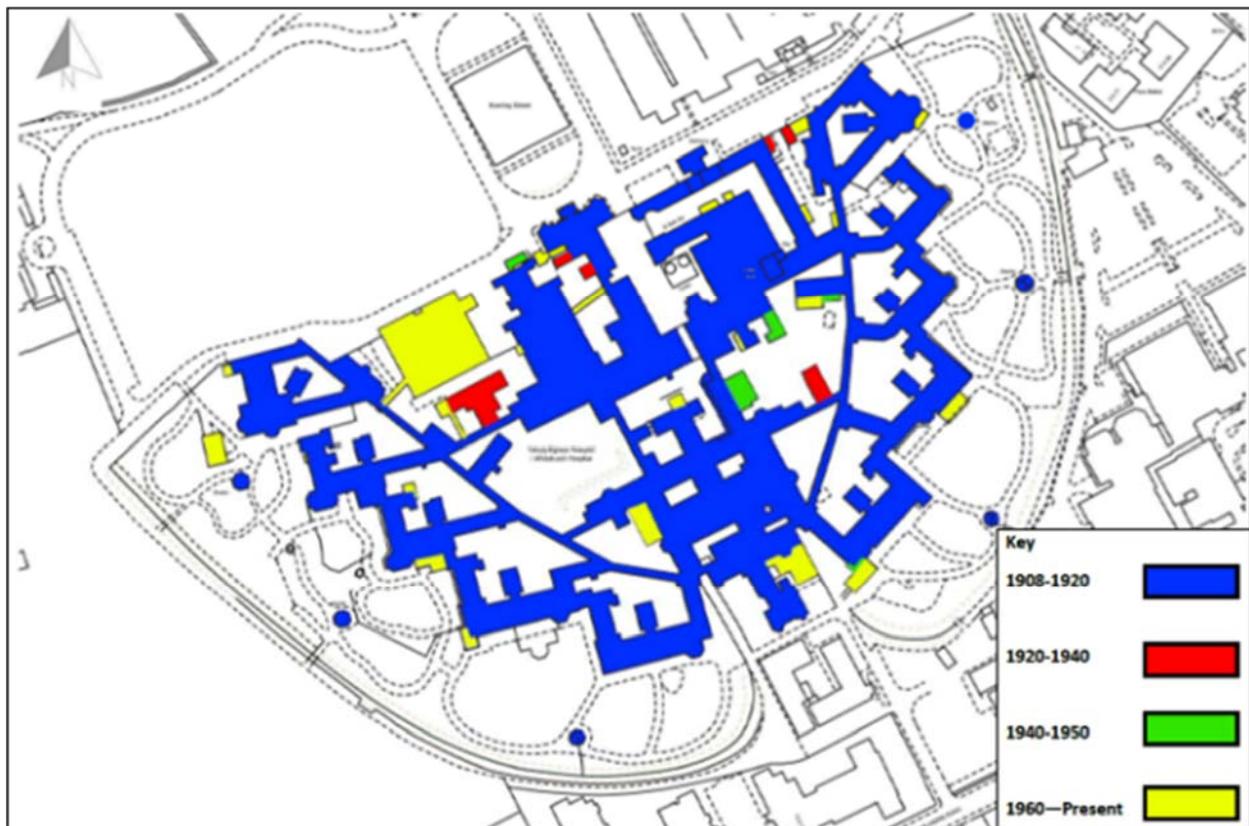
³ 'Significance' is the understood special interest of an historic asset/place that exhibits the cultural heritage values that the collective consciousness has attributed (Cadw 2011 p.10).

⁴ In her book on *Informed Conservation* (2001), containing guidance on the importance and how to understand historic buildings and landscapes for their successful and sustainable conservation.

well balanced in conserving the significance. With this in mind, this report will undertake an aspect of a conservation plan considering the planning approach and establish development policies to develop an understanding and proposal for the sustainable conservation and potential adaptive reuse of Whitchurch Hospital. Therefore, the structure of this report will consist of, firstly, in considering the series of reports generated assessing various elements of the building, analyse guidance within national and local planning policy, along with Cadw’s guidance and an analysis of literature regarding sustainable building conservation philosophy. Secondly and conclusively, this report will consider two possible proposals based on this understanding to achieve a sustainable future for Whitchurch Hospital.

Context and Condition of Whitchurch Hospital

There are instances when buildings cease to fulfil their original purpose (Cadw 2017 p.11), as is exhibited at Whitchurch Hospital (Gnoińska & Hughes 2020 p.27). Built on the outskirts as a psychiatric hospital for the City of Cardiff in 1908⁵ (ibid p.21), the building has witnessed many alterations and developments during its years of operation. The morphology of the building as captured by Hayes (2020 p.4) attests to this, displaying the extent and where the building has been adapted and developed since its original completion.



Hayes 2020 p.4

⁵ Known as the Cardiff City Mental Hospital (alias Cardiff City Asylum) (Gnoińska and Hughes 2020 p.21).

Furthermore, as analysed by Gnoińska & Hughes (2020 pp.27-36), the history of the hospital's operation consists of adapting to different roles such as an emergency general medical hospital during both World Wars, and thus the required retrofitting of associated facilities, including further progressive additions made by its superintendents, for instance the lecture hall⁶ (ibid pp.31-32). The large-scale building also made use of its surrounding landscape, in establishing a farm that enabled the hospital to be self-sufficient and include labour and routine within their treatment of patients (ibid p.22), and that also experienced change as urban development came to encircle the hospital⁷ (Zhang 2020). Therefore, what is understood by Hayes' (2020 p.4) and Gnoińska & Hughes' (2020 p.27 & 35) analysis, is the hospital's ability to adapt during the various events of its years of operation even though it became redundant as UK policy considered community care to be more humane and effective in the treatment of mental health.

Remaining vacant since 2016 (ibid p.27), the condition of Whitchurch Hospital as explored by Branford (2020 pp.2-3) and corroborated by author's images following a visual inspection during a site visit in October 2019, the exterior of the site is described as reflecting its derelict nature with overgrown vegetation together with scattered waste and debris, exemplified in the following illustration.



Author, Site Visit October 2019

⁶ Built in 1924 under Dr. Goodall's administration (ibid pp.31-32).

⁷ The surrounding landscape regarding traffic and the various facilities and amenities currently around the hospital is analysed by Zhang (2020), and will be discussed further in this report.

Although Branford (2020) states the need for further assessments and surveys, the building is generally in a stable condition with only some elements of the building, such as the roof and other isolated areas exhibiting damage. While the building is protected behind high galvanised steel palisade security fencing and twenty-four hour maned security (ibid p.3), the damage referred to is primarily the result of vandalism. For instance, lead theft is apparent as well as damaged slates due to ‘...been trodden on...’ in retrieving the lead (ibid pp.12-13) as illustrated below.



Branford 2020 p.13

Branford (ibid) states that this will eventually result in moisture ingress and thus decaying roof timbers, plasters, flooring etc. The building is also slowly falling into disrepair due to the external climate and natural faults with evidence of vertical cracks (ibid p.26) and high condensation levels causing further degradation within the interior of the building (p.32) illustrated below.



Branford 2020 p.26



Branford 2020 p.32

Considering this summarised analysis of Branford's (2020) report, it is asserted that, should the building remain in this condition, it may reach the state of disrepair and considerable loss of the listed building. In order to secure long-term viability for a listed building, Cadw (2017 p.11) state that this may necessitate developing a new use.

Adaptive Reuse: Building Conservation and the wider Statutory Planning Policy Guidance

Cantell (2005 p.2) defines 'adaptive reuse' as the act of providing a new use for an existing redundant building to ensure its conservation. In remaining vacant and receiving no maintenance works, Watt & Swallow (1996 p.36 & p.234) state that '*...the most obvious threat to a building is that of becoming a ruin itself...*' and therefore the building must possess a cultural or financial merit to survive. Consequently, finding a new use for a redundant building will thus ensure the continuity and survival of the building. Corroborating this, Yung, Chan & Xu (2004) assert that whilst researching historic buildings and sustainable development in the Inner City of Shanghai, adaptive reuse is becoming an increasingly successful approach, contributing to the concept of sustainable development. This is also understood within the statutory planning framework for Wales,

'6.1.11 For listed buildings, the aim should be to find the best way to protect and enhance their special qualities, retaining them in sustainable use. The continuation or reinstatement of the original use should generally be the first option, but not all original uses will now be viable or appropriate. The applications of planning and listed building controls should recognise the need

for flexibility where new uses have to be considered in order to secure a building's survival or provide it with a sound economic future.'

(Welsh Government 2018 p.125)

Therefore, in granting planning proposals, planning authorities have an operative function in considering sustainable development as the adaptive reuse of listed buildings to ensure their conservation in instances where the original use is no longer considered viable. However, Cadw (2017 p.11) emphasise that when considering a new use, care should be taken to not over develop a listed building, and in some circumstances, it may present an opportunity to enhance the heritage value of the building. Furthermore, Burn (2000 p.2) asserts that in restoring historic buildings through means of adaptive use or re-introducing the original use, they're '*...often unnecessarily modified...*' due to the lack of knowledge in the specialised area of design. According to Burn (ibid), the lack of information to ensure confidence in making professional judgements and the pressures of professional liability often lead to a more conservative approach. Therefore, what is understood here is that with a lack of understanding, the building's potential may not be realized. As stated within the latter half of the above citation from the statutory planning framework, in considering new uses for listed buildings, flexibility may be required in securing a building's survival. In considering its morphology and history, established is the hospital's ability to adapt during various events of its years of operation, and therefore may support the flexibility that may be required in securing the building's survival through means of adaptive reuse. This, in conjunction with the first half of the citation and Cadw's (2017 p.11) emphasis of the risk of over-developing a listed building, requires informed decisions to be made to achieve a balance in the development of the building. Providing a level of quality in this matter, the BSEN7913⁸ (2013 p.10) states that all interventions during the planning and implementation of change to historic buildings should be documented, recorded and made available to enable future understanding; whilst also stating that '*...competent persons...*' should administer the conservation, repair and maintenance of historic buildings. Prior to and during any development work, recording and documentation of the current state and features of the building should be undertaken, and is established within the following development policy.

⁸ The British Standard Guide to the Conservation of Historic Buildings.

DP1: DOCUMENTATION AND RECORDING OF WHITCHURCH HOSPITAL

In order to secure sustainability for Whitchurch Hospital, a new use may be required to achieve viability. However, in complying with the statutory planning framework for Wales, the historic environment service and building conservation principles and literature, informed decisions are required in the building's development. Based on this principle, prior to and during any development work taking place, recording and documentation of the condition and features of the building is considered a high priority and must be completed. A high quality of recording and documentation will be utilized and enable competent persons to gain an understanding and achieve a high potential for the sustainable development of Whitchurch Hospital.

In addition to this principle of understanding, a deeper comprehension of the building that is central and will inform its successful conservation as discoursed by Clark (2001 p.12), is the understanding of its significance. As previously established, the primary objective of a listed building designation is to conserve the significance of the building within the planning system. This is established within the statutory planning framework for Wales, and is exemplified within the following figure.

Planning Policy Wales (PPW)

'6.1.7. It is important that the planning system looks to protect, conserve and enhance the significance of historic assets. This will include consideration of the setting of an historic asset which might extend beyond its curtilage. Any change that impacts on an historic asset or its setting should be managed in a sensitive and sustainable way.'

'6.1.8. It is the responsibility of all those with an interest in the planning system, including planning authorities, applicants, developers and communities, to appropriately care for the historic environment in their area. The protection, conservation and enhancement of historic assets is most effective when it is considered at the earliest stage of plan preparation or when designing new proposals.'

'6.1.9. Any decision made through the planning system must fully consider the impact on the historic environment and on the significance and heritage values of individual historic assets and their contribution to the character of place.'

(Welsh Government 2018 p.124)

Technical Advice Note 24: the Historic Environment

'5.13 When determining a listed building consent application, the local planning authority should consider the following issues:

- the importance and grade of the building and its intrinsic architectural or historic interest.
- the physical features of the building which justify its listing and contribute to its significance, (for example its form and layout, materials, construction and detail) including any features of importance such as the interior, which may have come to light after the building's inclusion on the list.
- the contribution of curtilage and setting to the significance of the building, as well as its contribution to its local scene.
- the impact of the proposed works on the significance of the building.
- the extent to which the proposed works would bring substantial community benefits for example, by contributing to the area's economy or the enhancement of its local environment.

The listing grade may be a material consideration, but is not in itself a reliable guide to the sensitivity of a building to alteration or extension. For example, many grade II buildings are humble, once common building types, listed precisely because they are relatively unaltered examples of their kind and their special interest can be damaged by inappropriate alteration or extension.'

(Welsh Government 2017 p.22)

Cardiff's Local Planning Authority's Local Development Plan (LDP)

Policy KP17:

'Cardiff's distinctive heritage assets will be protected, managed and enhanced, in particular the character and setting of its Scheduled Ancient Monuments; Listed Buildings; Registered Historic Landscapes, Parks and Gardens; Conservation Areas; Locally Listed Buildings and other features of local interest that positively contribute to the distinctiveness of the city.'

'4.184' *'In seeking to respond to the presence of heritage assets, developers are encouraged to follow a sequence of investigation and assessment to identify the cultural and historic significance of a place before developing proposals for change or alteration. In this way appropriate approaches can be developed to preserve and enhance the historic environment through proposals that respond to and complement their context. The process is commended with Circular 61/96 and advice with BS Standard 7913, 2013.'*

(Cardiff Council 2016 pp.109-110)

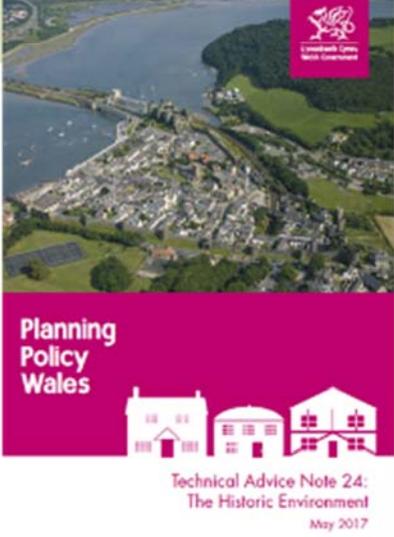


Figure 1: Extracts of policy and guidance from national and local planning documents regarding the historic environment and specifically managing change of listed buildings.

PPW⁹, is the overarching national planning policy document, establishing the overall vision for development in Wales and delivering the objectives of the Well-being of Future Generations Act 2015 (Welsh Government 2018 p.2). Supplementing specific overarching policies of PPW, are a series of TANs¹⁰ (ibid p.6), with TAN 24 providing guidance on how the planning system regards the historic environment in producing a development plan and determining listed building consent applications (Welsh Government 2017 p.5). These national policies and guidelines are established in a local context by local planning authorities within their LDP¹¹ (Welsh Government 2018 p.8). Figure 1 establishes the importance given to conserving and enhancing the significance of heritage assets, in particular listed buildings, within the planning system at a national level, and demonstrates how this is interpreted locally through Cardiff's LDP. The underlying principle established here is the fundamentality of understanding the significance of heritage assets, with possible features not stated within the listing report, which will then inform an appropriate approach for their development.

Nevertheless, expressed by certain literature regarding significance is its subjectivity and the impact this has on historic buildings and their conservation. Strange & Whitney (2003 p.219) assert that the function of heritage conservation '*...is in a constant state of flux...*' as the conception of conservation is continuously changing. However, partly disputing this assertion, it is contended that heritage conservation is in a constant state of flux as the conception of heritage is continuously changing and thus influencing its conservation. According to Philippot (1996 pp.268-269) during the eighteenth-century, the historical consciousness matured to recognise the need for historic preservation¹². This historic preservation eventually evolved to become synonymous with '*...nostalgia...*', that is, what Philippot describes as historicism¹³ becoming interconnected with nationalism¹⁴; and consequently replacing the notion of traditional continuity, which is the understanding that history is a continuous narrative, with the notion that there is a break between the past and present (ibid). Therefore, asserted here is that the historical value of an asset became based on the understanding of the collective consciousness, and heritage conservation aspired to commemorate that understood collective consciousness of the historic value. This, to an extent, is what Mason (2004 p.64) terms as the '*...memory/fabric connection...*', that how the collective consciousness understands a historic asset is a fundamental factor of

⁹ Planning Policy Wales.

¹⁰ Technical Advice Notes.

¹¹ Local Development Plan.

¹² Twenty-first century literature terms 'historic preservation' as 'heritage conservation', attesting to a minor degree Strange & Whitney's (2003 p.219) assertion that the understanding of preservation/conservation is in a state of flux.

¹³ The excessive regard for past styles.

¹⁴ The identification with one's own nation.

heritage conservation, and has been explored by many, such as Bachelard, Boyer, Halbwachs, Hayden, J.B Jackson, Lowenthal, Lynch, Nora, Rossi, and Ruskin in conservation philosophy. Arguably in understanding this, Joseph, Kearns & Moon (2013 p.138), distinguish between the process of 'Memorialisation' as the act of consciously and specifically preserving an historic asset to be a tangible reminiscent of its/the past, and 'Remembrance' as the act of remembering with and without the need for a physical stimulus. Given this understanding of the role of the collective consciousness within heritage conservation, what impact would this have on the conservation of historic buildings that are traditionally associated with complex or negative attributions within the collective consciousness?

Traditionally, as described by Byrne (1997 p.618) and Kearns, Joseph & Moon (2010 p.732), psychiatric hospitals through factual and fictional accounts have become synonymous with and perpetuated a '...'*Bedlam*' image...' and therefore are tainted with notoriety within the collective consciousness that in turn supplemented their dissolution. In focusing their research on the adaptive reuse of former psychiatric hospitals to residential use in the UK and New Zealand, Joseph, Kearns & Moon (2013 p.151) conclude that the most common approach in their reuse is the suppression of the former use, termed as 'Strategic Forgetting'. This is both supported and undermined in considering the precedents for the potential adaptive reuse of Whitchurch Hospital as analysed by Hartley (2020) of the former psychiatric hospitals, former Pen-y-fal Hospital (PyF), Abergavenny; the former Edinburgh Royal Infirmary¹⁵ (EIR), Edinburgh; and Former Sully Hospital, Glamorgan¹⁶. Recognised with these three case studies is the opportunity of re-use for residential purposes, granted the mixed adaptive reuse of the former EIR consisting of residential, public spaces for economic development, and office accommodation (ibid pp.31-33). Even though developing a mixed adaptive reuse, Hartley (ibid p.20) discusses the benefit of the whole EIR site being sold as a single land package to a single owner, as this avoided problems besieging multiple ownership and enabled an effective and consistent delivery of its development plan. In considering Joseph, Kearns & Moon (2013 p.151) conclusion, the extent of memorialisation and suppression of their former use is varied within all three case studies analysed by Hartley (2020). At the former PyF site, apart from the remembrance present within the residents of Abergavenny, the only reference of memorialisation of the former use is memorial stone commemorating the final resting place of its former residents (Hartley 2020 p.8). Regarding the former EIR site, as is also true of PyF (ibid p.9), significant demolition had to be undertaken in order to enable conversion in creating access and spaces, and as some buildings were considered structurally beyond repair (ibid p.23). The former Sully hospital however has

¹⁵ Currently known as the Quartermile Development (Hartley 2020 p.20)

¹⁶ Currently known as Hayes Point Apartments (ibid p.36)

only experienced limited demolition resulting in its original form and setting to still be interpreted, and also includes memorialisation to its former use within the central foyer of the former nurses block (ibid p.37 & 46). On the contrary, marketing brochures prior to the adaptive reuse completion at Sully hospital, as stated by Hartley (ibid p.46), exhibits strategic forgetting as there was no reference of its former use and focused primarily on the 'exclusivity' of the development. Therefore, it is asserted that due to the associated stigma as well as the condition of the buildings, different approaches and various degrees of interpretation have been attributed to their adaptive re-use. Is it therefore inevitable that the suppression of former use will be a feature in the approach to the adaptive reuse of Whitchurch Hospital?

The Significance of Whitchurch Hospital

Whitchurch Hospital was designated as a listed building for its architecture as the best example in Wales of a psychiatric hospital using an echelon design, and as the work of Oatley and Skinner (Cadw 2002 A). However, as analysed by Gnoińska & Hughes (2020), its significance entails more than merely its architecture, as summarised in the following figure.

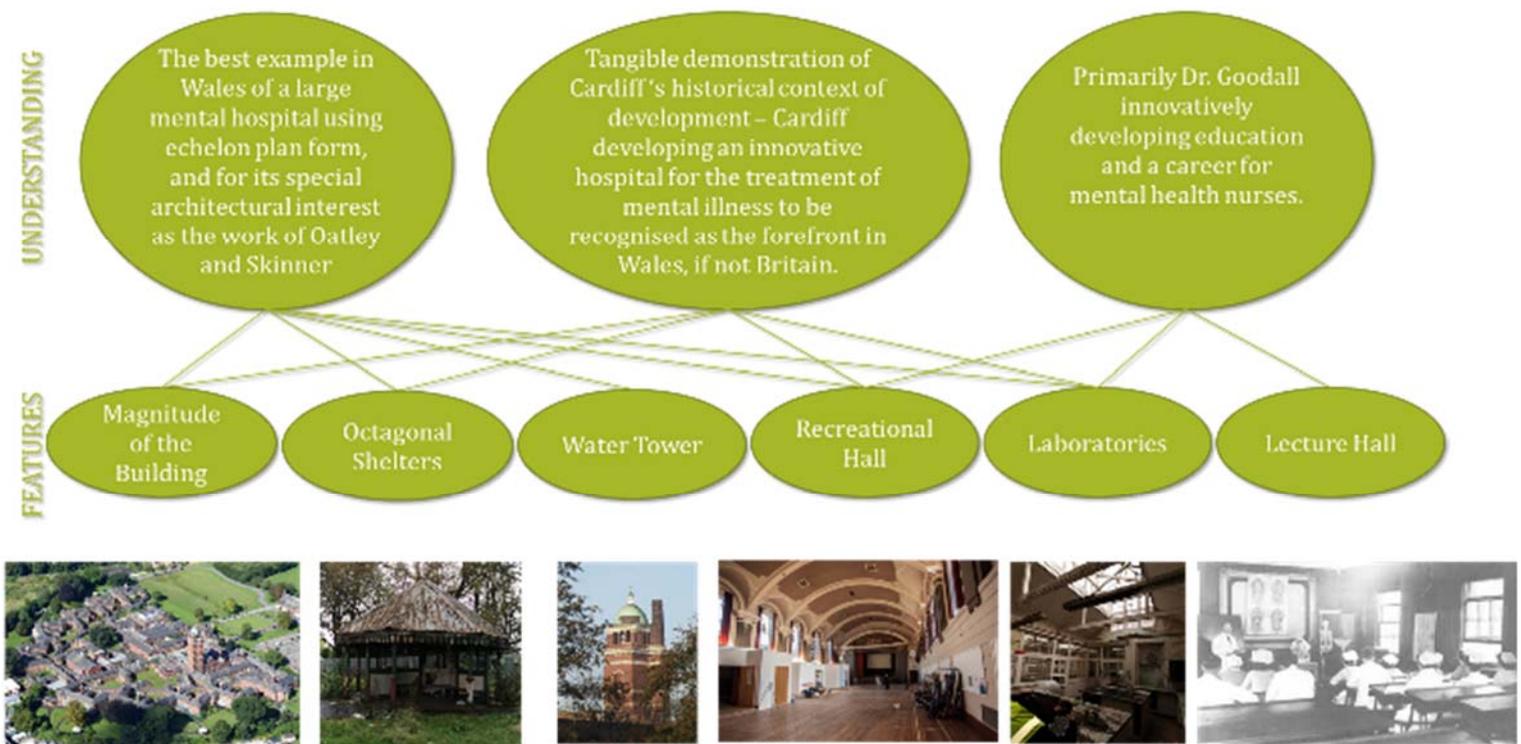


Figure 2: Author's synopsis of the significance of Whitchurch Hospital as analysed by Gnoińska & Hughes (2020)

As understood within Gnoińska & Hughes's (2020 p.37) report¹⁷, the significance of Whitchurch Hospital consists of both tangible and intangible features inter-relating. In using Cadw's methodology of assessing significance, Gnoińska and Hughes (2020 p.37) conclude their study with the communal value¹⁸ being of highest significance attributed to Whitchurch Hospital, as it is present within all aspects of the site's heritage; and should therefore, in conforming to guidance in figure 1, be conserved and enhanced during any development work. Since its planning and construction, the hospital has an important place in the community, architecturally and during its operation, along with the historical development of Cardiff as a city in developing an innovative hospital for the treatment and care of mental illness (ibid). This intangible understanding of significance is consolidated through the tangible features of significance, of the magnitude of the building, the octagonal shelters¹⁹, the water tower, the recreational hall, laboratories, and the lecture hall. Identified through these tangible features is that the hospital since its conception has sought to distance itself from the traditional ideas surrounding psychiatric hospitals (ibid). It is therefore recognized that there is more value to consider when developing Whitchurch Hospital than that stated within its listing report. Therefore, taking into account Hartley's (2020) discussed study of precedents, in order to conserve and enhance the understood significance, it is likely that no significant demolition will be permitted through the planning process, and one developer securing a single use will limit the need for demolition for conversion, and ensure no diminishing of understanding the site as a whole. The principle of conserving the significance of Whitchurch Hospital is therefore established within the following development policy.

DP2: CONSERVING AND ENHANCING THE SIGNIFICANCE OF WHITCHURCH HOSPITAL

Complying with the statutory planning framework, and supplementing DP1, understanding the significance of Whitchurch Hospital is fundamental and should be given highest priority in considering development to ensure informed and appropriate decisions. Designated for its architecture, the features of significance attributed to Whitchurch Hospital are discovered to include other tangible and intangible features as outlined within this report and discussed in further detail by Gnoińska & Hughes (2020). As a result, it is likely that no significant demolition will be permitted through the planning process, and one developer securing a single use is preferred to limit the need for demolition for conversion, and ensure that there is no diminishing of understanding the site as a whole. Any development proposal must therefore promote the conservation and enhancement of the significance of Whitchurch Hospital, and details regarding this must be submitted as part of the planning application.

¹⁷ See report by Gnoińska and Hughes (2020) for full report on the analysis of significance and individual features of Whitchurch Hospital.

¹⁸ That is the collective consciousness.

¹⁹ All six are separately designated as Grade II listed buildings – see appendix 1 for further information.

Sustainable Development

Moreover, Conejos, Langston and Smith (2011) find that adaptive reuse is sustainable both in the way of ensuring the survival of the historic building, and also in its development as it is understood to be less wasteful in terms of energy consumption. Since the issuing of the Climate Change Act 2008²⁰, an objective within national and thus local policy is to ensure 'sustainable development' in terms of energy consumption. Testified within PPW²¹,

'5.7.17 The planning system has an active role to help ensure the delivery of these targets²², in terms of new renewable energy generating capacity and the promotion of energy efficiency measures in buildings.' (Welsh Government 2018 p.90)

That is, in granting planning proposals, planning authorities therefore have an operative function in reducing wasteful energy consumption and promoting energy efficiency measures in buildings. This is also reflected and brought together with the obligation of conserving the historic environment within one of Cardiff's LDP (Cardiff Council 2016 pp.7-8) objectives of '*Respecting Cardiff's environment and responding to climate change...*'. Where elaborated, this states that Cardiff Council aim to deliver sustainable development in a managed way that will retain and enhance the important features of its natural and built heritage in responding to the climate change agenda (ibid). It is therefore asserted, that within the statutory planning framework, 'sustainable development' is understood as ensuring the continuity and survival of the built heritage as previously established, whilst also understood as reducing wasteful energy consumption through means of sustainable design and renewable energy resources. This is corroborated by Bullen (2007 p.20), stating that focusing development on improving the existing building stock is recognised as having a vital impact on the sustainability of the built heritage. However, also stated by Bullen (ibid p.23) is that in conserving the significance, generally in terms of energy performance, a retrofitted existing building will not meet the requirements as well as a new build development.

Fussell's (2020 p. 17) analysis of Whitchurch Hospital's energy use concludes with that additional methods would require implementation for the building's envelope to comply with current building regulations; however in understanding the history of the hospital, it has always

²⁰ An act demanding the net UK carbon emissions to lower 80% less than the 1990 baseline by 2020 (Climate Change Act 2008).

²¹ Planning Policy Wales

²² 5.7.16 *The Welsh Government has set targets for the generation of renewable energy:...(1) For Wales to generate 70% of its electricity consumption from renewable energy by 2030;...* (Welsh Government 2018 p.90)

achieved self-sufficiency from its farming and generating its own power. According to Fussell (2020 p. 1 & 7) Whitchurch Hospital has also been on the frontline concerning its technology services, as in its design phase, high priority was given to the implementation of a sterile environment thus installing a ventilation system, plumbing and a drainage system, along with the installation of electrical lighting²³. It is therefore proposed, that understanding the innovation regarding Whitchurch Hospital's services and design at the time of its construction '*...will inspire plausible options...*' for its adaptive reuse; granting that further research on heating and powering the building is required in order to comply with contemporary standards, as well as improving the thermal efficiency of the material fabric (ibid p.17). Of course this must respect and be balanced with conserving and enhancing the significance of Whitchurch Hospital.

In adhering to the sustainable development agenda within the statutory planning framework, the principle of sustainable design and materials, as well as the retrofitting of renewable energy resources, is established within the following development policies.

DP3: SUSTAINABLE DESIGN AND MATERIALS

In order to maintain the distinctiveness and character of the former Whitchurch Hospital, it is important that any development of the building or around the building be of a sustainable design and materials that will respect and enhance the appearance of the building.

Details of all alterations and works proposed should be included within the planning application, demonstrating the effect of the development on the appearance, character and setting of the building.

DP4: RENEWABLE ENERGY RETROFITTING

Any development proposal for the adaptive reuse of Whitchurch Hospital must consider the potential incorporation of renewable energy schemes to service the building. However, these schemes in servicing the building must be balanced with DP2 of conserving and enhancing the significance of Whitchurch Hospital in order to avoid any significant detrimental impact. Following the fulfilment of the requirements in DP1, a variety of renewable energy schemes should be evaluated before deciding on the final one to ensure a successful balance is achieved.

Details of all alterations and works proposed should be included within the planning application, demonstrating the effect of the development on the appearance, character and setting of the building.

With the establishment of these development policies, the following proposals are considered for the potential adaptive reuse of Whitchurch Hospital.

²³ Electrical lighting, is understood to be considerably cheaper and cleaner than gas lighting a was a novel technological service during the planning and construction of Whitchurch Hospital (Fussell 2020 p.7).

Proposal 1: Residential Sixth Form College for Psychology and Psychiatry

A proposed adaptive reuse for Whitchurch Hospital, following the considerations of this report is a Residential Sixth Form College for Psychology and Psychiatry.

Kearns, Joseph & Moon (2010 pp.731-749), (2016 pp.87-106) have explored the 'transinstitutionalisation' of former psychiatric hospitals to be re-purposed for tertiary educational use through analysing case studies of the former Mimico Asylum (later Lakeshore Psychiatric Hospital) in Toronto, Canada and the formerly adjacent Carrington/Oakley Hospitals in Auckland, New Zealand²⁴. They define transinstitutionalisation as a building of a former institutional use, such as an asylum, being re-purposed with a new institutional use accommodating the contemporary requirements and priorities of society, such as a college or a university (Moon, Kearns & Joseph 2016 p.87). Generally, Kearns, Joseph & Moon (2010 p.742) suggest that an excess of land and buildings would be perceived as a means to '*...reduce public debt through a transfer to private ownership...*', however an educational re-use ensures that the land and building may be maintained as a community resource. Considering that the significance of Whitchurch Hospital consists of having an important place within the community with it established as a grand institution for the community and a tangible representation of Cardiff's development, retaining the building as community resource will prove to enhance this significance, conforming to DP2 of this report. This proposed adaptive reuse is therefore to establish a cultural merit to ensure viability for Whitchurch Hospital.

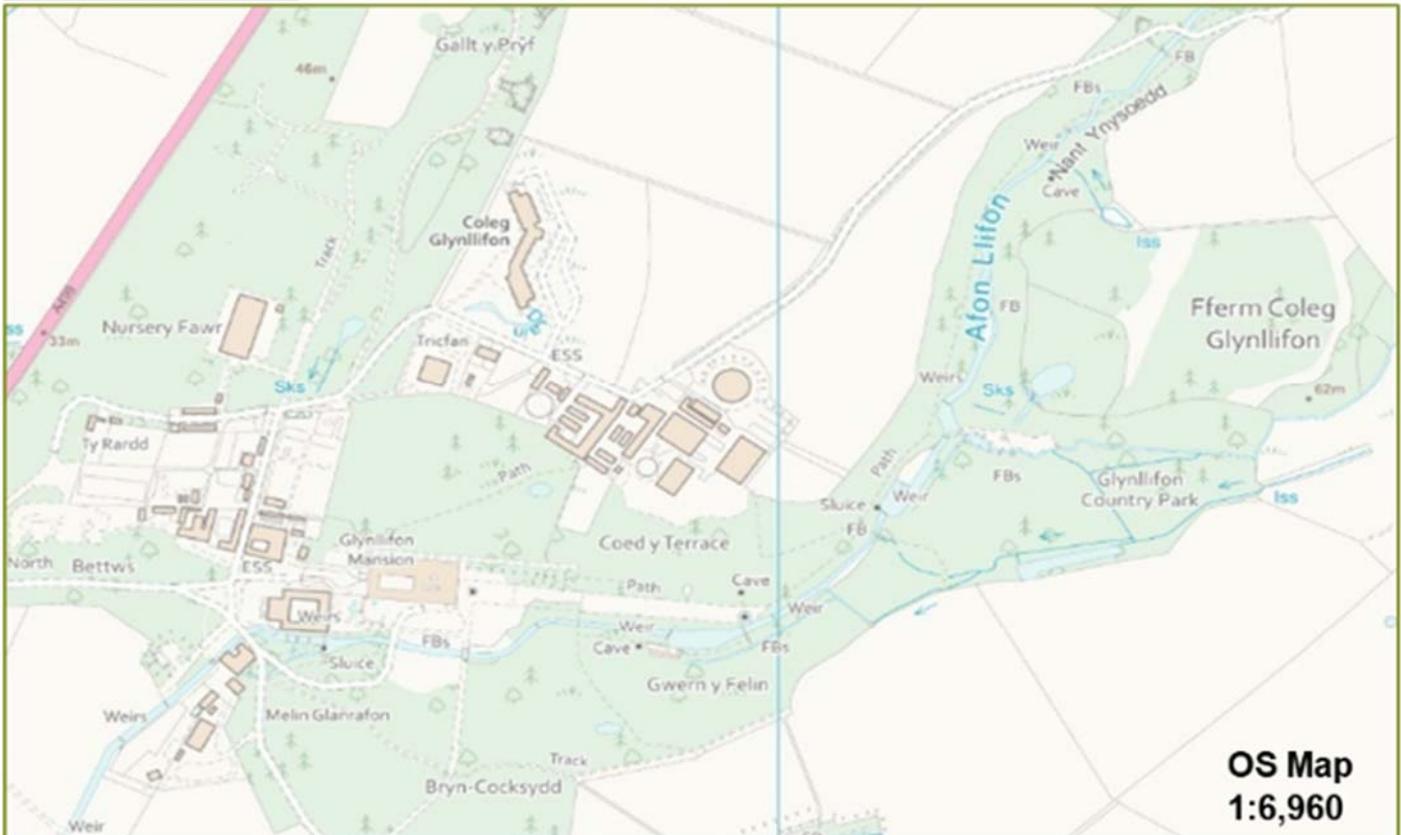
Furthermore, although focusing on case studies from Canada and New Zealand, Kearns, Joseph & Moon (2010 p.734) also state that the transinstitutionalisation of former asylums to tertiary education use is not a recent or limited occurrence; for instance, the development of the former Leicester and Rutland County Asylum to become the University of Leicester in the UK. In discussing their chosen case studies, Kearns, Joseph & Moon (ibid p.741) declare the differing circumstances of both asylums, in that Lakeshore had been redundant for ten years prior to its transinstitutionalisation, whilst Carrington witnessed an overlap with students and patients occupying, though located in separate areas of the building. In declaring this, what they argue (ibid) is that by comparing these two case studies, the impact of the collective consciousness on the transinstitutionalisation of former psychiatric hospitals can be measured with the understanding that the ideas of Carrington would be relatively more present within the collective consciousness, and that time has separated this to an extent with Lakeshore. However, this is disputed, as this would only be a superficial analysis of the collective consciousness'

²⁴ Referred to as Lakeshore and Carrington within this report.

understanding of the traditional ideas regarding psychiatric hospitals, and thus does not consider the individuality and specific values attributed to the buildings. As established in discussing its significance, Whitchurch Hospital is not understood as part of the traditional bedlam image within its surrounding community. Despite this, what is realised from Moon, Kearns & Joseph's analysis (2016 p.101), is to what extent should the previous use be memorialised or should the emphasis be on the new use and therefore suppress or keep any memorialisation to a minimum? As previously established, where there is an absence of memorialisation, this can be attributed to the stigmatised past of the building (ibid). However, Moon, Kearns & Joseph (ibid) disclose that, the educational adaptive reuse, conversely, due to budget constraints, limits the extent of renovation (ibid), thus the majority of the structure remains serving as a implicit tangible memorialisation of its former use. It could be disputed that the role of the collective consciousness does not apply here, but as Moon, Kearns & Joseph (2016 pp.87-88) argue, with their two case studies there was overwhelming support for the re-use of these buildings by the surrounding communities for an educational use as it secures the site as it is, as well as provides employment. Therefore, as this indicates the precedents for Whitchurch Hospital developing a new educational use in principle, is there a justifiable need to support this proposed adaptive reuse?

According to Gleeson & Hodkinson (2006) a novel occurrence in Britain, along with the introduction of a major qualification – the GNVQ²⁵, is that the majority of young people are staying in full time education and training for at least an additional year following completing compulsory education at 16 years old. This full time education and training is provided by institutions such as the the Glynlifon Agricultural College in Caernarfon, North Wales and Cambridge Tutors College in Croydon, London. Both of these institutions are residential sixth form colleges for students between the ages of 16 and 18. Further information regarding these institutions are in following figures 3 and 4.

²⁵ The General National Vocational Qualification.



Animal Studies Centre

The Animal Centre includes the animal park and exotics facility. The Centre houses a wide variety of small animals, poultry, aquatic and reptile facilities, together with an aviary.

Engineering Centre

The purpose-built facilities allow students to gain experience working on a wide range of machinery. The college has recently invested in new welding bays, a virtual reality welder and has extended the workshop area.

Forest & Sawmill

Recently refurbished and extended, the sawmill gives students experience of commercial forestry within their course. The 300 hectares of farm and forestry land offers a practical insight into countryside management.

Glynllifon Farm

The Glynllifon farm, including the woodland, extends to 300 hectares, and is a great environment for studying countryside management and agricultural studies. Agriculture students will gain hands-on experience on Glynllifon's working farm which has:

- A crossbred Autumn calving dairy herd
- A Spring calving Stabiliser and Welsh Black beef herd
- A lowland flock of 500 Llyn ewes
- 50 Continental terminal sire flock
- A pig herd of 50 Welsh and Hybrid sows

Recent investments at the farm include the cattle roundhouse and a state-of-the-art pig unit.

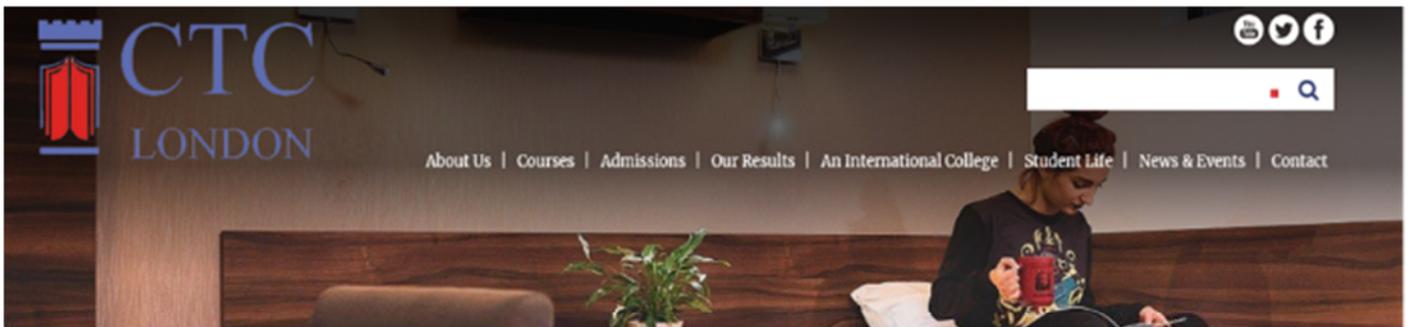
Hostel Life

For students from further afield Glynllifon's hostel, situated on campus, offers comfortable accommodation during the week.

Hostel wardens provide evening and overnight support and supervision. Residents can make use of the TV room, pool tables, table tennis and gym equipment, as well as self-catering kitchens and lounge areas.

Regular evening activities include cooking sessions, fitness sessions and clay pigeon shooting.

Figure 3: Author's compilation of information regarding Glynllifon Agricultural College gathered from Coleg Llandrillo's website and QGIS mapping system



A level Board/code

AQA

What do we cover in the course?

Key syllabus elements

Year 1:

Social influence

Memory

Attachment

Approaches in Psychology

Biopsychology

Psychopathology

Research methods

Year 2:

Issues and debates in Psychology

More research methods, including inferential statistics

Options:

Schizophrenia

Gender

Forensic Psychology

How is it assessed?

Key assessment elements

There are three two-hour exams.

The questions in all sections of the exams are multiple choice, short answer and extended writing.

Key skills required

1. Some Mathematical skills for handling data
2. The ability to show knowledge of the subject
3. The ability to analyse, apply and evaluate psychological knowledge
4. Good language skills – there is quite a lot of reading to do. Also well-developed writing skills are needed for the extended writing.

What entry requirements are there to study this course?

There are no specific entry requirements but above average grades in GCSE Maths and English are clearly essential.

What is the course useful for?

A-Level Psychology can open up a range of careers and higher education courses in psychology, social sciences, neuroscience and media studies.

These courses can lead to careers in social work, clinical or educational psychology, research, teaching and in the field of media.



Figure 4: Author's compilation of information regarding Cambridge Tutors College gathered from Cambridge Tutors College (A,B,C)

As understood in Zhang's (2020 p.6) report there is no need for a school or another university in the area due to quantity of in the surrounding area of Whitchurch Hospital, as illustrated below.

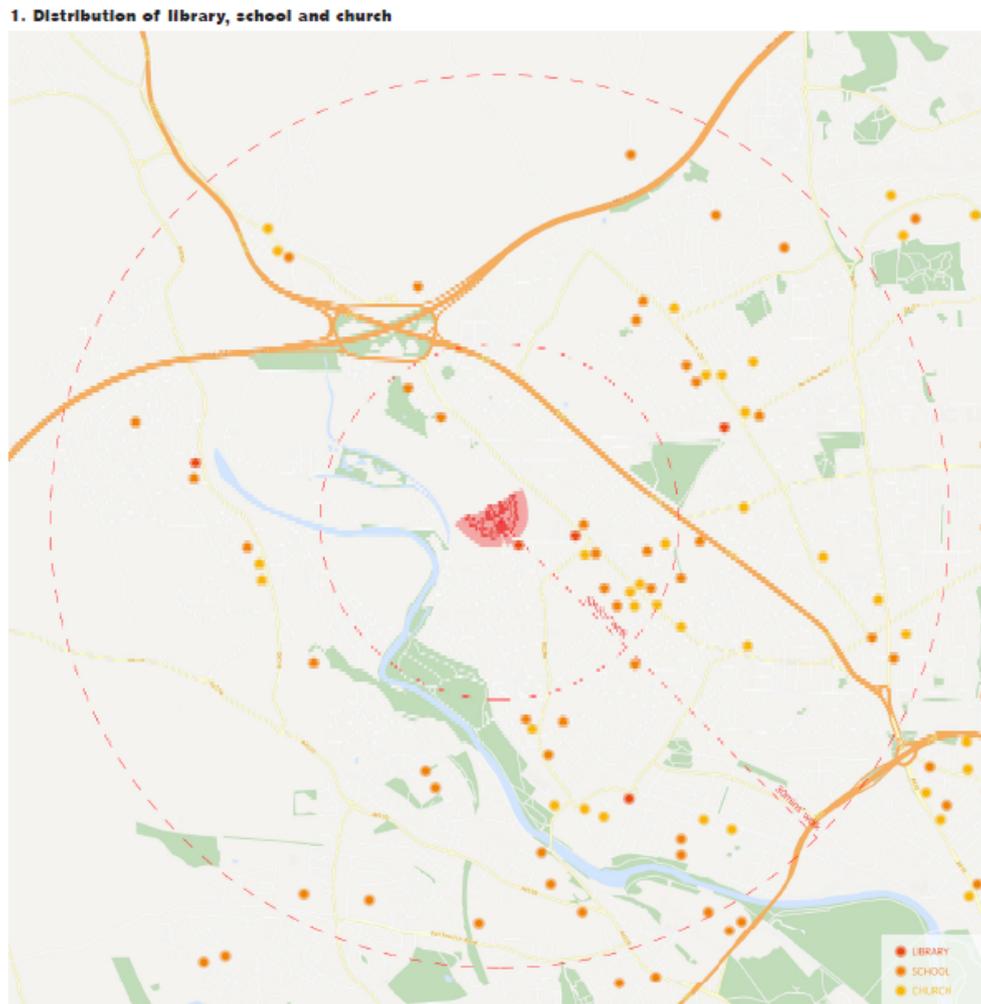


Figure 5: Distribution of libraries, schools and churches encompassing Whitchurch Hospital (Zhang 2020 p.6)

However, a case can be made for a residential sixth form college, offering equivalent to an A level qualification or a GNVQ for psychology and psychiatry prior to embarking on further education at University level in possibly Cardiff or Bristol University, and of course further afield. Zhang's (ibid) above illustration has classified all levels of education under 'school', such as pre-schools, primary schools, secondary schools, and university buildings (Google Maps 2020 A). On the one hand, it is argued that with a secondary school located within the vicinity of Whitchurch Hospital, Whitchurch High School already providing sixth form education (Whitchurch High School), there is no justifiable need for another and independent sixth form, especially within such a large structure. On the other, it is asserted that a specialised school in psychiatry and psychology providing residential facilities for students would appeal to wider demographic than only facilitating the Whitchurch and Cardiff area. Furthermore, as witnessed with Cambridge Tutors College, there is a range of studies and modules that entail Psychology and Psychiatry, such as sociology, memory, mental illnesses, forensic psychology and so on that can then lead to various

careers in social work, clinical or educational psychology, research, teaching, media etc. (Cambridge Tutors College C) justifying the specialising of the residential sixth form college in psychology and psychiatry.

The overall vision for Whitchurch Hospital as a residential sixth form for psychology and psychiatry is therefore as follows;



Figure 6: Vision proposal for the adaptive reuse of Whitchurch Hospital as a residential sixth form college for psychology and psychiatry (Author)

It is asserted that retaining the building in its entirety proves beneficial for educational adaptive reuse as most of the layout, facilities and security are already present, as demonstrated in figure 6. Of course, updating these facilities will be required, however it is asserted that in complying with the development policies established within this report, development would only require repairs and minimal intervention thus reducing the risk of over developing the listed building. To function as explicit memorialisation, it is proposed to retain the water tower as part of the historic core in stimulating remembrance and conserving the tangible features of significance of the building that interrelate with its intangible significance. Furthermore, it is asserted that this proposal for the sustainable future of Whitchurch Hospital not only conserves its significance but also enhances the features of its impressive architecture, of Cardiff developing an innovative

psychiatric hospital to be recognised as the forefront in Wales, if not Britain, and its role in developing education and a career for mental health nurses.

Proposal 2: A Hotel promoting Health and Wellbeing

An alternative proposal, presenting a relatively more financial merit, for the adaptive reuse of the former Whitchurch Hospital, considering the significance of the treatment and care of mental health provided and praised at the hospital since its first days of operation, is a hotel promoting health and wellbeing. As previously established Whitchurch Hospital's former use as a mental health hospital is no longer considered appropriate; however, it is asserted that the care of mental health has evolved to include wellbeing. As stated and defined by the WHO²⁶ (2013 p.7) in its constitution regarding mental health,

'Health is a state of complete physical, mental and social well-being and not merely the absence of disease or infirmity.' Mental health, like other aspects of health, can be affected by a range of socioeconomic factors (described below) that need to be addressed through comprehensive strategies for promotion, prevention, treatment and recovery in a whole-of-government approach.'

Therefore, not only is the focus of mental health presently on treating mental disorders, it also encompasses dealing with everyday stress factors to ensure a state of comfortableness and happiness. As well as this, the WHO (2013 p.8) declares that there is an insufficient system of care for mental health in the majority of countries, for instance, where one psychiatrist is to serve on average 200,000 or more people. Discussing the published *Mental Health Action Plan*, Saxena, Funk, and Chisholm (2013 p.1971) analyse that the WHO, in order to achieve a comprehensive response to the care of mental health, have written the medical model approach to be second in precedence to the approach of ensuring everyday wellbeing. Saxena, Funk, and Chisholm (2013 p.1971) assert that in order for this plan and approach to be implemented, financial resources for mental healthcare need to be generated, along with establishing the importance of promoting, protecting and restoring good mental health within current systems, that is health policy planners and health professionals. Arguably, this approach has been established in Wales with the issuing of the Wellbeing and Future Generations Act 2015 discussed in brief previously. The Act in setting out seven wellbeing goals²⁷ aspiring sustainable development, requires improvement in the four aspects of wellbeing, that is the social, economic, environmental and cultural aspects (Welsh

²⁶ World Health Organisation

²⁷ These goals are; (1) A globally responsible Wales (2) A prosperous Wales (3) A resilient Wales (4) A healthier Wales (5) A more equal Wales (6) A Wales of cohesive communities (7) A Wales of vibrant culture and a thriving Welsh language (Welsh Government 2018 p.9)

Government 2018 p.9). Therefore, this Act establishes wellbeing and health as an aspiration and requirement in Wales, and within its planning system supporting sustainable development.

An already established development for the promotion of good health outside the medical model approach are Spa Hotels. Contemplating the European context, while Mueller & Kaufmann (2001 p.5) state the decline in spa tourism, most drastically in Switzerland, they also argue of a rising new type of development of institutions promoting health and wellness, known in the hotel industry as ‘...wellness tourism...’. Differing from the traditional spa hotels, ‘wellness tourism’ is defined by Mueller & Kaufmann (ibid p.7) as the experience of staying in a hotel that provides specialist and appropriate professional care for treatments and classes on physical fitness, beauty care, healthy nutrition, relaxation, meditation, and mental activity/education. An example of such a hotel is the global brand *Healing Hotels of the World* that offers retreats for emotional wellbeing, stress release, Ayurveda²⁸, detox, to improve sleep, spirituality, weight loss and yoga (Healing Hotels of the World). The following figure illustrates the services and experiences provided by the *Healing Hotels of the World*, and the distribution of these hotels disclosing that currently there is not a healing hotel in the UK;

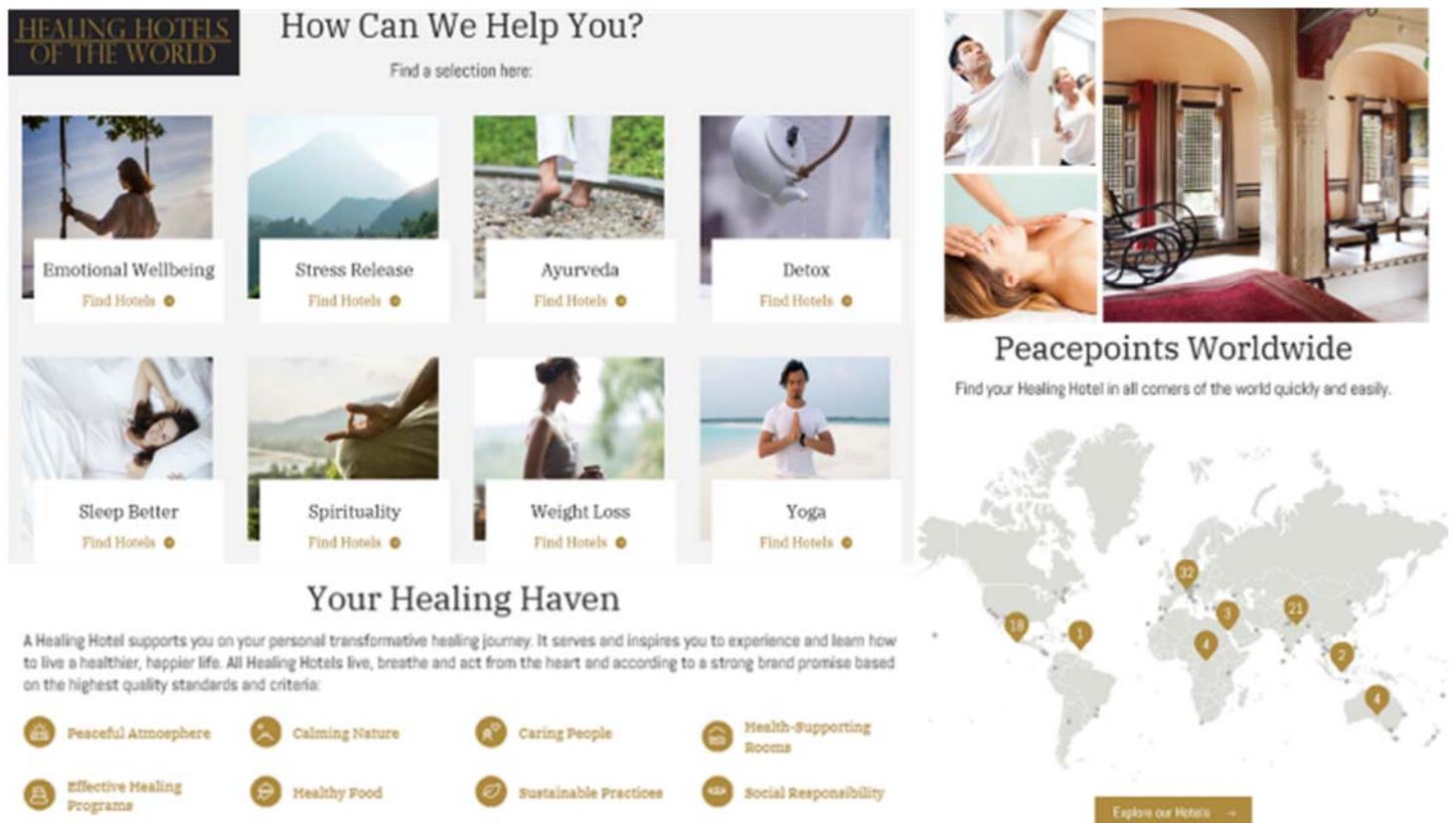


Figure 7: Author’s compilation of information regarding *Healing Hotels of the World* gathered from the company’s website (Healing Hotels of the World)

²⁸ Which is the traditional Hindu system of medicine, based on the idea of balance in bodily systems and uses diet, herbal treatment, and yogic breathing (Healing Hotels of the World).

According to Zhang's (2020 p.7) analysis of the distribution of the facilities and amenities surrounding Whitchurch Hospital, the proposal of a hotel as the hospital's adaptive reuse is considered the most appropriate and viable option as the area of Whitchurch could benefit from a hotel for tourism purposes. On the one hand, the following illustration by Zhang (ibid), demonstrates the current quantity of hotels, and a search on these nearby hotels (Google Maps 2020 B) reveals a wide range available such as lodges and 3* hotels with spa facilities, for instance the *Holiday Inn Cardiff* hotel.

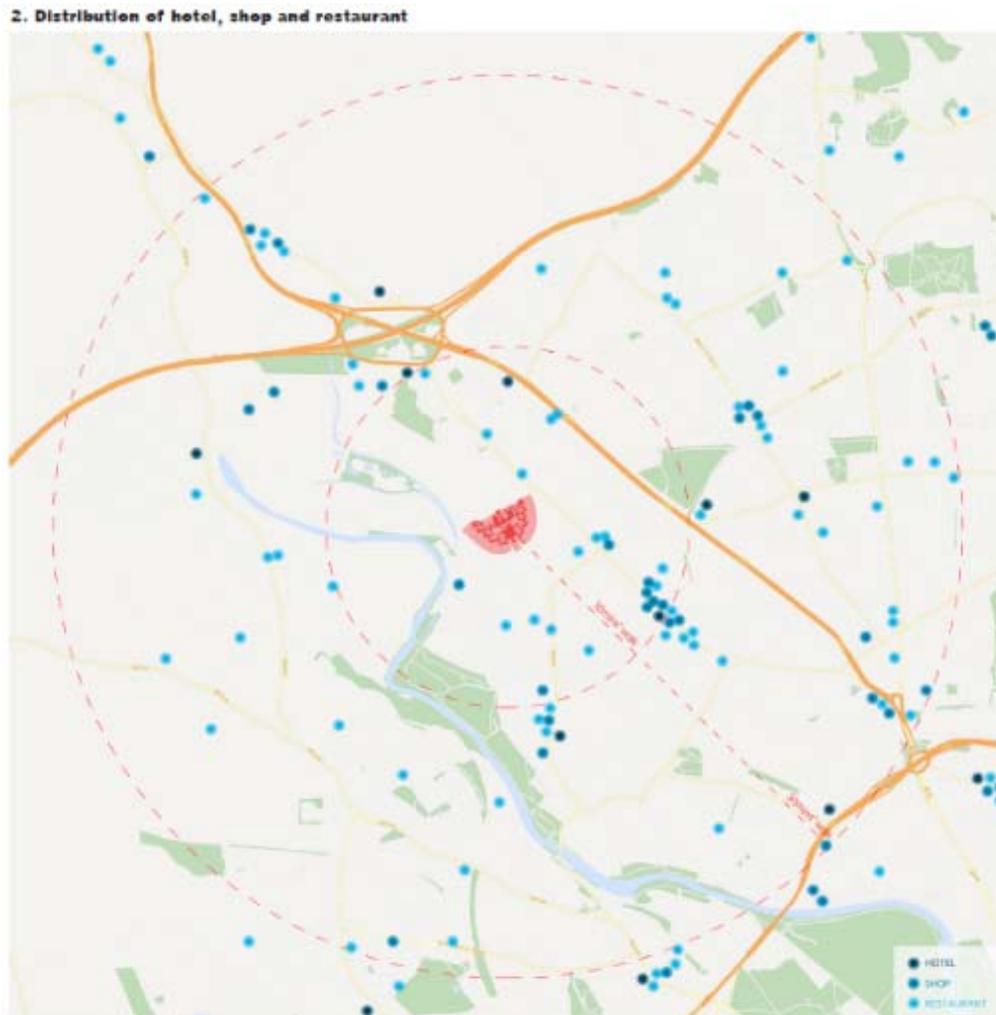


Figure 8: Distribution of hotel, shops and restaurants encompassing Whitchurch Hospital (Zhang 2020 p.7)

On the other hand, as founded, a hotel promoting health and wellbeing is considered to be of a different offering to traditional hotels with spa facilities, and therefore may provide Whitchurch with a new tourism market along with the economic benefits. Moreover, as the significance of Whitchurch Hospital consists of mental health care, and in reimagining its former use within a contemporary context, it is asserted that in principle, this adaptive reuse proposal of a hotel promoting health and wellbeing at Whitchurch Hospital is the epitome of sustainable development in achieving a balance between economic growth and conserving the historic

environment. Of course, a risk recognised with this proposal that may only be measured with time, is how sustainable this reuse might in fact be, as it may be construed as a ‘fad’ development, such as the decline of spa tourism in Switzerland (Mueller & Kaufmann 2001 p.5).

A further implication regarding this proposal may include the collective consciousness unaware of the history and significance of Whitchurch Hospital, attributing the traditional bedlam image to site, and resulting in economic downfall. However, this is undermined in considering Pendlebury, Wang and Law’s (2017 p.214) study on reusing uncomfortable heritage, with instances of former asylums, slaughterhouses and prisons redeveloped as successful, upscale hotels such as the former Sultanatimet prison in Istanbul, now a Four Seasons hotel. Strategic forgetting was initially considered in the adaptive reuse of the prison, yet packaging the hotel as a former prison and retaining the majority of its features and structure successfully promoted the hotel and became a ‘...*commodified experience*...’ (ibid). This therefore exemplifies the possibility of economic success for the adaptive reuse of Whitchurch Hospital as a hotel promoting health and wellbeing, and the advantages of retaining the building in its entirety, complying with DP2. The overall vision for Whitchurch Hospital as a hotel promoting health and wellbeing is therefore as follows;

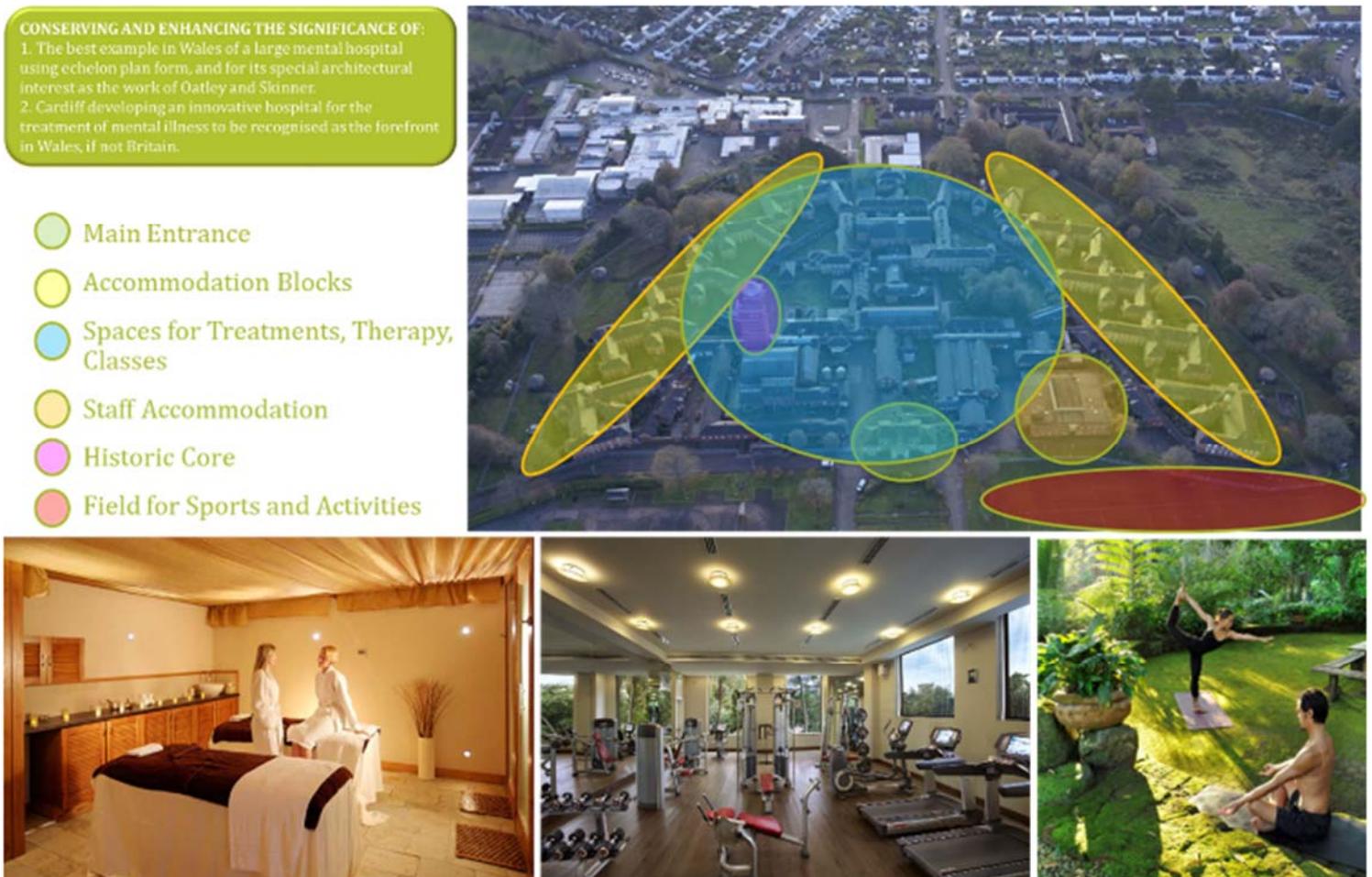


Figure 9: Vision proposal for the adaptive reuse of Whitchurch Hospital as a hotel promoting health and wellbeing (Author)

Similar to the proposal of a residential sixth form college for psychology and psychiatry, the layout and setting of Whitchurch Hospital would be suitable for a Hotel use, regarding security measures in retaining the building in its entirety, and in the form of the main entrance, accommodation blocks, indoor and outdoor spaces for treatments, therapy, classes. The building highlighted orange in figure 9 may be utilized for staff accommodation or other purposes, and the outdoor space of the field would be utilized for exercise such as running etc. Although possibly requiring more development than what would be proposed with the residential sixth form college, at this conception stage it is asserted that in complying with the development policies established within this report, development would only require repairs and minimal intervention with aesthetic work thus reducing the risk of over developing the listed building. Once more, to function as explicit memorialisation, it is proposed to retain the water tower as part of the historic core in stimulating remembrance and conserving the tangible features of significance of the building that interrelate with the intangible features. In conserving and enhancing the significance related to mental health care and the grandeur of the building, to conclude, in terms of economic viability this may be the most viable option for the adaptive reuse of Whitchurch Hospital, however the proposal of a residential sixth form college for psychology and psychiatry may be the most sustainable.

Conclusion

Therefore, as established within this report, adaptive reuse is arguably a means of sustainable building conservation especially when supported and managed by the planning system and building conservation principles and philosophy. In actively combining the two in considering the potential adaptive reuse of Whitchurch Hospital, a series of development policies have been established to ensure a successful adaptive reuse of the building. Examples of these types of development may be residential sixth form college or a hotel promoting health and wellbeing. Of course, as discussed within this report, with these two examples there are different challenges regarding economic viability and sustainability that lie outside the ability of the planning system and building conservation principles. Nevertheless, it is asserted and concluded that, in complying with the development policies formulated in this report it is possible to strike a balance between economic growth and protecting the historic environment, and thus ensuring a sustainable future for Whitchurch Hospital.

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Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11713		II	Designated	15/04/1994	31/05/2002

Name of Property	Address
Octagonal Shelter in Grounds to east of Whitchurch Hospital	

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314731	180614

Street Side	Location
	Between angle of Ward Block East 5 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has four bays formed by screens with glazing bars; these have planked benches and splayed sides midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11712		II	Designated	15/04/1994	31/05/2002

Name of Property

Octagonal Shelter in Grounds to south-east of Whitchurch Hospital

Address

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314754	180550

Street Side

Location

Between angle of Ward Block East 3 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has four bays formed by screens with glazing bars; these have planked benches and splayed sides midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

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Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11711		II	Designated	15/04/1994	31/05/2002

Name of Property

Octagonal Shelter in Grounds to south-south-east of Whitchurch Hospital

Address

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314741	180457

Street Side

Location

Between angle of Ward Block East 1 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has two bays formed by screens with glazing bars; these have zig-zag planked benches midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11710		II	Designated	15/04/1994	31/05/2002

Name of Property	Address
Octagonal Shelter in Grounds to south-south-west of Whitchurch Hospital	

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314578	180370

Street Side	Location
	Between angle of Ward Block West 1 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has two bays formed by screens with glazing bars; these have zig-zag planked benches midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

Cadw : Full Report for Listed Buildings

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Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11709		II	Designated	15/04/1994	31/05/2002

Name of Property	Address
Octagonal Shelter in Grounds to south-west of Whitchurch Hospital	

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314486	180416

Street Side	Location
	Between angle of Ward Block West 3 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has four bays formed by screens with glazing bars; these have planked benches and splayed sides midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

Cadw : Full Report for Listed Buildings

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Full Report for Listed Buildings



Summary Description of a Listed Buildings

Reference Number	Building Number	Grade	Status	Date of Designation	Date of Amendment
11708		II	Designated	15/04/1994	31/05/2002

Name of Property	Address
Octagonal Shelter in Grounds to west of Whitchurch Hospital	

Location

Unitary Authority	Community	Town	Locality	Easting	Northing
Cardiff	Whitchurch	Cardiff	Whitchurch	314446	180471

Street Side	Location
	Between angle of Ward Block West 5 and garden railings at Whitchurch Hospital.

Description

Broad Class	Period
Health and Welfare	

History

These shelters are probably contemporary with the hospital main building, thus c1908-10. Fresh air was considered an important part of treatment for mental patients.

Exterior

An octagonal timber garden shelter with a broadly corrugated roof; shaped and pierced valance, boarded ceiling. Roof carried on pillars, the top halves of which are in the form of turned balusters.

Interior

The interior has four bays formed by screens with glazing bars; these have planked benches and splayed sides midway between the main pillars.

Reason for designation

Included for group value with Whitchurch Hospital and associated listed items.

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